HISTORIC BUCKNER, HEADQUARTERS DISTRICT, MCCLELLAN DESIGN GUIDELINES

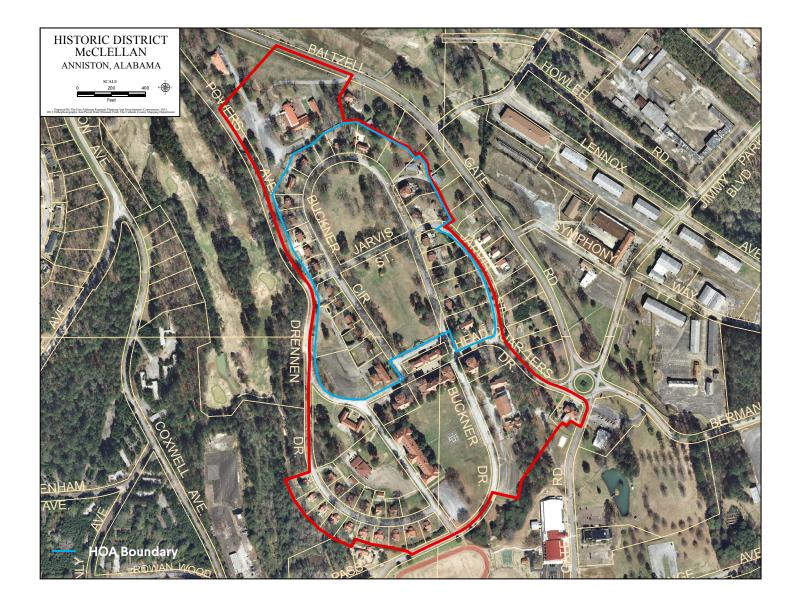
> City of Anniston HISTORIC PRESERVATION COMMISSION

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# **DISTRICT MAP**



A portion of the district is represented by the Historic Buckner Property Owners Association, Inc. and such properties are also subject to the "Historic Buckner Declaration of Covenants. Conditions and Restrictions" recorded with the Calhoun County Judge of Probate on April 29, 2002 and found at Deed Book 3019, Page 497, et seq. Said covenants, conditions and restrictions govern and control the properties made subject to it and includes all of the residences around Buckner Circle, the Bandshell/Gazebo, Silver Chapel and Building 63.

# INTRODUCTION

### From the National Register Nomination:

Closed in 1999, Fort McClellan was a major military installation for more than eighty years, during which time it was also an integral part of the economy and the community character of the City of Anniston. For generations American men and women received their military training at McClellan, and the fort's trainees have fought in every military conflict through World War I...through the closure of the Fort. During World War II alone, almost half a million soldiers were trained at McClellan. Architecturally the district is representative of the development of military facility planning in the early twentieth century, a time during which "an outstanding group of city planners, architects, and landscape designers who were trained in the principles of the City Beautiful and Garden City movements" were employed to create military installations that met high standards for both functionality and aesthetics. This attention to design detail coupled with McClellan's natural setting at the base of the Choccolocco mountain range combined to earn the fort the reputation for being "the military showplace of the South". The combination of function and aesthetics was carried throughout the Post Headquarters Historic District and many of its individual contributing resources are excellent examples of period military design. The period of significance for the district extends from 1930 through 1941 and reflects the construction dates of its earliest and latest contributing extant buildings.

During WWI, Camp McClellan was expanded significantly, with over 1,500 buildings constructed at the camp by February of 1919. However, during the 1920s this expansion was significantly cut back, with permanent construction discouraged and the WWI camps falling into disrepair. In 1924 Secretary of War John Weeks submitted a long-range plan to Congress to replace temporary structures with permanent barracks, quarters, and hospitals. Congress awarded the Construction Service \$126 million between 1926 and 1930. Army Chief of Staff General Charles P. Summerall was influential in attaining Fort McClellan's permanency as a regular army post for one regiment of infantry. Three infantry barracks were completed by February 1930 to be followed by quarters for officers and noncommissioned officers.

Fort McClellan benefited from the expertise of city planners, modern architects, and landscape architects who were consulted and hired by Major General B. Frank Cheatham to improve the beauty as well as the function of the new fort. Buildings were to be styled in one theme, surrounded by open spaces, and connected by broad main arteries and local streets which followed natural contours. Posts would be divided into areas grouped by function, and it was the planner's tasks to unify the whole.

The Design Branch deemed Georgian Revival and Spanish Colonial Revival styles appropriate to certain regions of the Country; while bases in New England tended to have brick exteriors and slate roofs, stucco exteriors and tile roofs were more common in their southern counterparts.

The Fort McClellan Post Headquarters Historic District, also known as the Buckner Circle Historic District, is located at the heart of the former Fort McClellan. The district encompasses the former headquarters and includes offices, a hospital, barracks, a church, a fire station, entertainment facilities, and officers' quarters. The district is centered on the large landscaped park enclosed by Buckner Circle and lined by officers' quarters, with the former post headquarters occupying the focal point at the southern end.

The 63 contributing structures in the district were constructed between 1930 and 1941. The officers' quarters along Buckner Circle were constructed in two phases. Sixteen houses were constructed in 1930 by the Office of the Quartermaster General using a standardized plan. Four additional houses were constructed at the northern end of the circle in 1936 using a different standardized plan. Automobile



garages were also added at this time. The Bachelor Officers' Quarters was constructed in 1936 at the northern end of the circle; it was later converted for use as the Officers' Open Mess and Officers' Club in 1941. The building is better known as Remington Hall. During its use as an Officers' Club during WWII, German prisoners of war painted a series of murals on the walls of the barroom between 1943 and 1945.

The buildings in the headquarters area were constructed between 1931 and 1936, with the hospital being the first building completed in the complex. It was built in 1931 and was later converted for use as the Provost Marshal Administration Building. The Post Headquarters building was built in 1934 with funding provided by the Emergency Relief Act of 1932. Silver Chapel was added in 1936, as was the Post Exchange Building.

Frederick, Wikoff, and Egbert Barracks were constructed in 1930. The recreation center was added in 1936 with funding provided by the Emergency Relief Act of 1935. Hutchinson Hall was also built in 1936; it served as a motion picture theater and an assembly hall. The auditorium originally sat 262 and was equipped with 35mm projection equipment and played major theatrical films presented under the auspices of the Army and Air Force Motion Picture Service. Koehler Hall was constructed in 1936 as well and was originally constructed as a gymnasium, with a bowling alley added to its basement in 1937. Schou Hall, constructed in 1936, was originally built to house the Enlisted Men's Service Club, a recreational facility equipped with lounge chairs, game tables, and the post library. The post fire station was also constructed in 1936. Stanley Barracks, the final building in the headquarters complex, was constructed in 1937.

The Noncommissioned Officers' Quarters along Drennen Drive were built in two phases, with the first seven houses constructed in 1930. Nine additional dwellings were added in 1936 using WPA (Work Projects Administration) labor. The Child Development Center was added to the complex in 1941.

The contributing resources within the district are all excellent examples of period military design. Stylistically, each is representative of the Spanish Colonial Revival style and most exhibit detailing consistent with that style, including terra cotta tile roofs, stuccoed exteriors, and often elaborate frontispiece entrance surrounds. As a group, the buildings exhibit considerable variation of detail while still being remarkably consistent in overall design.

# **GENERAL GUIDELINES**

The Buckner Circle Historic District is very different from Anniston's other locally designated historic districts. Because the structures were built by one entity, the Army, and within a limited amount of time, there is a uniformity and cohesiveness to the structures that does not exist elsewhere in Anniston. Deviations from the district's aesthetics will be much more obvious in a place like Buckner Circle than they would be in Downtown Anniston. Therefore, the design guidelines for this district are intended to maintain this uniformity of design, as it is a defining characteristic of the district. There will necessarily be less flexibility in the application of these guidelines than of those for Anniston's other historic districts.



# **REHABILITATION OF EXISTING STRUCTURES**

#### **EXTERIOR MATERIALS**

With few exceptions, the buildings in the Buckner Circle Historic District are constructed of stucco, and this material is extremely significant to the Spanish Colonial Revival style of the structures throughout the District.

#### Stucco Guidelines:

- 1. Replacement or repair of existing exterior materials should match as closely as possible the existing material. Any repair or replacement should use stucco or a suitable alternative, with the approval of the Anniston Historic Preservation Commission (AHPC).
- 2. Cleaning stucco may be undertaken using a low-pressure water wash supplemented by scrubbing with soft natural bristle brushes.
- 3. New stucco should be compatible with the materials used in the existing stucco mix in order to prevent damage to the existing material.
- 4. Unpainted stucco or masonry should not be painted. Patched walls shall match the existing adjacent surfaces as to materials, texture, color, bond, and joining.

#### Other Exterior Materials:

- 1. Other exterior materials may be repaired with no material changes.
- 2. When replacement of other exterior materials is necessary, the replacement materials should match the existing materials as closely as possible. Wood siding should be replaced with wood siding of a similar width and look.
- 3. Suitable replacement materials may be approved by the AHPC. Generally hardieboard siding can be an acceptable replacement for wood, but it should match the width and appearance of the existing wood.
- 4. Other exterior materials should be replaced with like materials. There are examples of rubble stone and brick structures within the district. Rubble stone and brick should be repaired where possible and replaced with matching materials if necessary.

### ARCHITECTURAL DETAILS

While many of the structures in the district are similar in style and materials, most have details that make them unique and distinguished from the other structures. These details should preserved and restored whenever possible, as they are important to the character of the district as a whole.

1. Repair rather than replace architectural details whenever possible. If features have been lost or damaged beyond repair, they may be replaced with the same materials and design; however, the detail's existence and appearance should be substantiated with historical evidence. The new materials should match the original in composition, design, color, and texture. Do not add non-historic details or elements to a historic structure

# ENTRANCES AND PORCHES

Many of the structures in the District have distinctive entrances that serve as focal points for the structure. Most of the officers' quarters have covered entry stoops, while the noncommissioned officers' quarters have nearly full front porches. The larger structures have a wide variety of entrances, but most include decorative details that draw attention to the entrance. Original entrances, details, porches or stoops, doors, and surrounds should be retained.



- 1. Repair original materials on features such as columns, railings, sidelights, transoms, cheek walls, steps, etc. whenever possible. If replacement is necessary, use the same materials or an appropriate substitute, approved by the AHPC.
- 2. Retain original doors whenever possible. If replacement is necessary due to deterioration, match the original material and design of the door as closely as possible. Ensure that screen and storm doors do not detract from the character of the door or entrance.
- 3. Most residential structures have similar doors wood with a single light. However, some doors have been replaced with more modern, inappropriate styles. These doors may be replaced with a style and material closer to the original to better match the others in the District.
- 4. Many of the larger structures retain their original wood paneled doors as well. These should be retained whenever possible. If replacement doors are necessary, the new doors should match the originalmaterial and style as closely as possible.
- 5. Transoms should be retained and repaired. It is not appropriate to cover a historic transom. Transoms that have been previously covered may be reopened using appropriate materials that match the original or nearby examples as closely as possible.
- 6. Do not enclose front or side porches or stoops visible from a right-of-way. Where porches have been inappropriately closed in the past, the AHPC may approve the removal of the inappropriate enclosure, preferably with documentary evidence of the porch's original appearance.

#### WINDOWS

Retain and repair original windows and window openings. Historically the residential structures windows were double-hung wood, while most of the larger structures have metal windows. A few buildings, such as the Post Headquarters and Remington Hall, have original wood casement windows.



- 1. Historic windows, including the sash, lintel, glass, sill, frame, muntins, shutters, and hardware should be retained and repaired through routine maintenance whenever possible. If elements have deteriorated to a point beyond repair, these elements should be replaced with the same materials, design, etc. in order to be compatible with the remaining elements and the rest of the historic windows.
- 2. Replace entire windows only when they are deteriorated beyond repair. The new window should match the original in material, size, configuration of panes, and hardware.
- 3. Repair existing wood shutters whenever possible. If replacement is necessary, new shutters should match the existing in size, material, and proportion to the window. Generally, shutters that are not proportionately sized to the windows are inappropriate, meaning that, if closed, the shutters would not cover the entire window. However, several of the residential structures in the district have these type of shutters in existence, so they may be replaced if deteriorated beyond repair.
- 4. Storm windows may be employed so long as they do not damage the original window or obscure its appearance. Interior storm windows are also appropriate. Storm windows should be constructed of the same material as the existing windows.

### ROOFS

With few exceptions, all of the structures in the district have red terra cotta barrel tile roofs, and this uniformity is a defining characteristic of the district. The shapes of roofs are also character-defining features of structures, and roof form includes all the features of the roof such as dormers, cresting, and chimneys; shape; slope; materials and color; and patterning. Secondary roofs that cover bays, dormers, porches are also essential to the roof form.



- 1. Retain the original shape, features, and slope of the roof. No renovations or alterations to the structure should obscure that form.
- 2. Retain original dormers, bays, and balconies along with their windows and other features. New dormers, bays, balconies, etc. should not be introduced on a primary façade of a structure, but may be appropriate on the rear or side of structure not visible from a right-of-way.
- 3. Historic roofing materials, primarily terra cotta tile in this district, should be repaired whenever possible, and replaced with like materials if deteriorated beyond the possibility of repair. New materials should match the existing material as closely as possible in texture, material, color, style, etc. For example, most structures in the district have variegated color tiles; this variegation should be retained rather than replaced with uniform color roof tiles.
- 4. Alterations to historic rooflines visible from the public right-of- way are generally prohibited. Any alterations to the roof, such as new dormers should be situated to be as unobtrusive as possible, preferably at the rear of the structure or behind a projecting element such as a dormer. Skylights should be flush with the roofline or lay flat.

# CHIMNEYS

Most of the structures in the district have chimneys. While most are of a simple design, there are a few with more intricate details, such as the decorative pot that tops the chimney at Remington Hall.

Retain the original shape, materials, and decorations of chimneys. They should not be covered with any material unless they were historically covered. Chimneys are prominent features, especially on residential structures, and should be preserved as they originally appeared. If the chimney is no longer operable, it should still be preserved to appear as original.

#### FOUNDATIONS

Most of the structures in the district have foundations of stucco to match the rest of the structure.

- 1. Retain original foundations and preserve original appearance. Do not cover with other materials.
- 2. Retain original foundation openings such as vents. Repair or replace vent covers with similar materials and appearance.
- 3. Do not infill pier foundations in such a way as to obscure the piers or the appearance of a pier foundation. When it is necessary to add infill material, use temporary material, such as wood lattice. Material must be recessed behind the piers, allow for ventilation under the structure, and installed in a manner that does not damage the existing structure upon removal.

#### **GUTTERS**

- 1. Maintain gutters and downspouts in their original appearance and location. Most residential structures in the district have prominent and somewhat decorative downspouts that should be retained and preserved in good condition.
- 2. If gutters or downspouts must be replaced, use those of similar materials and appearance.



# ACCESSORY STRUCTURES

Accessory structures should generally be located to the rear or side of the main house or building and are important site elements to the overall property. Many of the existing accessory structures in the district follow the same aesthetic as the primary buildings, with stucco and terra cotta tile roofs. Most are garages or storage buildings.



1. Preserve original accessory structures as significant to the overall site and district. Follow the guidelines for materials, design, etc. included in this section. For construction of new accessory structures, consult the guidelines on New Construction.

### ACCESSIBILITY

Historic buildings may be fitted with accessible ramps or otherwise converted for accessibility purposes, for either permanent or temporary use. Temporary equipment, such as may be needed for a temporary medical condition is given more design leeway as it is required to be removed after a short duration of use. Ramps or other accessibility features that are built to be permanent or semi-permanent are subject to the design requirements of the district to respect the materials, scale and placement in relationship to building's primary façade.

- 1. Accessible ramps should be designed to be as unobtrusive as possible by matching the materials, scale, and colors of the building. If possible, these should be located on a rear or side entrance.
- 2. Other accessibility features on the exterior of the structure should be as unobtrusive as possible and be constructed using similar materials, scale, and color of the building.
- 3. Temporary accessibility equipment, such as rented temporary ramps or lifts may qualify for a temporary COA for a limited duration provided that this equipment can be readily removed without damaging the existing building after its period of use. Temporary accessibility equipment must display the period of its approved use in an area visible to the equipment. Temporary approval will generally not be given for a period exceeding 12 months. Temporary approval may be extended with approval of the commission if the continued use of temporary accessibility equipment is deemed to be in the best interest of the district as a whole. When anticipated need extends beyond a period of 2 years, permanent or semi-permanent solutions should be sought.

### **EXTERIOR COLORS**

The Anniston Historic Preservation Commission (AHPC) will not review exterior colors unless a change from the existing color is being proposed or unpainted masonry is proposed to be painted. In the Buckner Circle district, the structures are very uniform in color, and deviations from this color scheme will detract from the overall cohesion of the district. The AHPC has three approved colors for this distirct: A. Exterior wall paint – Sherwin Williams "White Wool" - #SW1354 B. Shutters – Coronado "Duronodic Bronze"- #80-424-01 Latex C. Trim – Standard White Gloss paint - #V200-62-01 Oil .

#### FENCES AND WALLS

Existing fences and walls should be repaired whenever possible. New fences and walls should match the materials, height, design, etc. of those existing in the district. Most walls are constructed of stucco to match the homes. There are also wrought iron fences and wood privacy fences.



- 1. Construct new fences or walls of materials similar to those already found in the district.
- Walls and fences should not exceed six
  (6) feet in height.
- 3. In no case shall the front yard be fenced or walled.
- 4. Chain link fencing is not permitted.

#### **APPURTENANCES**

- 1. Most residential structures in the district have mailboxes of similar design and materials. New or replacement mailboxes should match those existing to the closest extent feasible and should be placed in a similar location on the lot or structure. Satellite dishes or antennae should be placed to the rear of the structure only and should not be visible from the public right-of-way.
- 2. All exterior lighting must match existing historic lighting components. Light should be directed so that it illuminates only the property on which it is located and does not affect adjacent or nearby properties.



#### HISTORIC ADDITIONS AND ALTERATIONS

Some structures may have had additions or alterations over the years that have attained historic significance in their own right and become worthy of preservation.

- 1. Preserve historic additions and alterations that have acquired significance.
- 2. For rehabilitation of these historic additions or alterations, consult the Rehabilitation guidelines.

#### NONHISTORIC STRUCTURES

In reviewing an application for a Certificate of Appropriateness for a change to a nonhistoric building, the AHPC should evaluate the project for its potential impacts to historic properties with significant visibility from the nonhistoric property. There are only two nonhistoric structures in the district, both of which use similar materials to those of the historic structures. Generally, materials and changes should keep nonhistoric structures in close alignment with the historic structures. There is also one structure in the district that is listed as noncontributing in the National Register nomination but has since aged into historic significance (Resource 65). This ranch house should be considered a historic structure, but it should not be modified to resemble the other historic structures.

# **NEW CONSTRUCTION AND ADDITIONS**

The cohesion of the Buckner Circle historic district is unparalleled in Anniston and most other places as well, and this cohesion in style, design, materials, etc. forms the basis of the district's lasting integrity and desirability. Also important to the district's cohesion are the scale, proportion, shape, setbacks, massing, rhythm, and other architectural elements. These elements form the basis for visual relationships among the buildings. The overall character of the district is distinctive from more typical historic districts, as it features a mixture of small-scale residential architecture in close proximity to larger barracks buildings, recreational facilities, and administrative buildings. The purpose of the New Construction guidelines is to encourage and allow appropriate new development within the district while preserving the historic character of the district's overall cohesion and continued historic significance.

New construction or addition designs shall be compatible with the historical architecture and community character of the district. Consideration will be given to building materials, fenestration, height, scale, proportion, landscaping, setback, color, etc., all elements that affect the proposed structure or addition's appearance to the public.

#### NEW BUILDING DESIGN

- 1. Each building unit shall be an integral element of the historic district that reflects and complements the character of the surrounding area.
- 2. Each building façade shall be compatible with adjacent and nearby facades in terms of scale, proportion, ratio of solids to voids, etc.
- 3. Buildings shall contribute to the pedestrian-oriented character of the district by including elements such as porches, stoops, street-facing entrances, etc. as found on historic structures in the district. Buildings should address the public right-of-way to complement the streetscape.
- 4. Generally, blank walls are not permitted. Windows or other architectural features similar to those on historic structures should be provided to reinforce visual interest at the pedestrian level.
- 5. Building materials shall be similar to or compatible with those found in the district. Generally, this will mean buildings should be constructed using stucco and terra cotta tile roofs.
- 6. New construction should not directly imitate or mimic the historic style and character of existing structures, but instead should distinguish itself so that it is not confused for a historic structure.
- 7. New construction should adopt similar elements of the historic structures such as porches or stoops, windows, sloped roofs, etc. New construction should also reinforce the rhythm of the district in terms of scale, envelope, openings, setbacks, etc.
- 8. New larger buildings should be located in close proximity to the larger historic buildings in order to maintain the cohesion of the district.



### SITE PLANNING AND PARKING

- 1. Consider the orderly arrangement of all site elements including parking, delivery, access, trash storage and collection, landscape treatments, pedestrian access, signs, fencing, etc.
- 2. Parking lots or areas shall be located in the rear of the structure or the side yard if the rear is shown to be infeasible. Parking should be visually screened from public rights-of-way with land scaping or walls.
- 3. Paving the front yard of any lot in the historic district is prohibited.
- 4. Ingress and egress to parking areas should be as unobtrusive as possible and, where feasible, shared with adjacent properties.

#### ADDITIONS TO HISTORIC BUILDINGS

New additions should respect the architectural integrity of both the building and district as a whole.

- 1. Locate additions away from the primary façade, ideally to the rear or side of the structure.
- 2. Differentiate the addition from the historic structure so that it is not mistaken for part of the original building. However, additions should be constructed using similar materials, mass, and color to the structure. Design the addition so that a minimum of historic materials and elements are obscured, damaged, or removed.
- 3. Design the addition such that a future removal would be possible without affecting the overall design or character of the historic structure.
- 4. Additions are subject to the same requirements to maintain the rhythms of scale and spacing as new construction. Additions must be designed in such a way to maintain the relative visual scale and spacing to their neighbor buildings in the district.

# **APPENDIX A: DEFINITIONS**

**Casement Window** is the earliest form of movable window, wood or metal framed, with hinges or pivots at the upright side of the vertically hung sash, so that it opens outward or inward along its entire length in the manner of a door

Cheek Wall is the side walls of a dormer or porch.

**Contributing Structure** is any building, object, or structure which adds to the historical integrity or architectural qualities that make the historic district, listed locally or federally, significant.

Dormer is a window that projects vertically from a sloping roof.

Frontispiece 1 a: the principal front of a building. b: a decorated pediment over a portico or window.

**Home Owners Association (HOA)** is an organization of homeowners of a particular subdivision, condominium or planned unit development. The purpose of a home owners association is to provide a common basis for preserving maintaining and enhancing their homes and property.

Lintel is a structural horizontal block that spans the space or opening between two vertical supports.

Muntins divide a single window sash or casement into a grid system of small panes of glass.

**Preservation** is the act or process of applying measures necessary to sustain the existing form, integrity, and materials of an historic property. Work, including preliminary measures to protect and stabilize the property, generally focuses upon the ongoing maintenance and repair of historic materials and features rather than extensive replacement and new construction. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a preservation project. However, new exterior additions are not within the scope of this treatment. The Standards for Preservation require retention of the greatest amount of historic fabric along with the building's historic form.

**Reconstruction** is the act or process of depicting, by means of new construction, the form, features, and detailing of a non-surviving site, landscape, building, structure, or object for the purpose of replicating its appearance at a specific period of time and in its historic location. The Reconstruction Standards establish a limited framework for recreating a vanished or non-surviving building with new materials, primarily for interpretive purposes.

**Rehabilitation** is the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values. The Rehabilitation Standards acknowledge the need to alter or add to a historic building to meet continuing or new uses while retaining the building's historic character.

**Restoration** is the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time by means of the removal of features from other periods in its history and reconstruction of missing features from the restoration period. The limited and sensitive upgrading of mechanical, electrical, and plumbing systems and other code-required work to make properties functional is appropriate within a restoration project. The Restoration Standards allow for the depiction of a building at a particular time in its history by preserving materials, features, finishes, and spaces from its period of significance and removing those from other periods

**Spanish Colonial Revival Style** is an architectural stylistic movement arising in the early 20th century based on the Spanish Colonial architecture of the Spanish colonization of the Americas.

Transom a window set above the transom of a door or larger window.

Window sash is made of one or more movable panels that form a frame to hold panes of glass.